

SCARPA RESIDENCE A&A

15 BUCKHORN WAY

LOT 36 BUCKHORN RANCH . FILING 2A (SKYLAND AREA)

GUNNISON COUNTY . COLORADO



HOA DRC REVIEW

16 JUNE 2022



CRESTED BUTTE . COLORADO
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WWW.ALLEN-GUERRA.COM

NOTE: RENDERING FOR PRESENTATION PURPOSES ONLY.



ALLEN-GUERRA ARCHITECTURE
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SCARPA RESIDENCE A&A
15 BUCKHORN WAY LOT 36 BUCKHORN RANCH

15 BUCKHORN WAY . LOT 36 BUCKHORN RANCH . FILING 2A (SKYLAND AREA)
GUNNISON COUNTY . COLORADO

COVER SHEET

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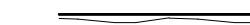












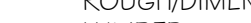




ARCHITECTURAL ABBREVIATIONS

ACOUS	ABOVE FINISHED FLOOR	EL OR ELEV	ELEVATION	LAB	LABORATORY	SAN	SANITARY
ACOUS	ACOUSTICAL	ENGR	ENGINEER	LAM	LAMINATE(D)	SECT	SECTION
ADD	ADDENDA, ADDENDUM	EQ	EQUAL	LAV	LAVATORY	SEW	SEWER
ADJ	ADJACENT	EST	ESTIMATE	LT	LIGHT	SHT	SHEET
AGGR	AGGREGATE	EXC	EXCAVATE	MFG	MANUFACTURER	SVF	SHEET VINYL FLOORING
ALT	ALTERNATE	EXIST	EXISTING	MATL	MATERIAL	SHLV	SHLVE(S) (ING)
ALUM	ALUMINUM	EJ	EXPANSION JOINT	MO	MASONRY OPENING	SDG	SIDING
APPD	APPROVED	EXT	EXTERIOR	MTL	METAL	SIM	SIMILAR
APPROX	APPROXIMATE	EXP	EXPOSED	MAX	MAXIMUM	SL	SLIDING
ARCH	ARCHITECT(URAL)	FAB	FABRICATE	MECH	MECHANICAL	STC	SOUND-TRANSMISSION CLASS
ASAP	AS SOON AS POSSIBLE	FO	FACE OF		CONTRACTOR		
BSR	BASEBOARD RADIATION	FIN	FINISH	MED	MEDICINE (AL)	SPEC	SPECIFICATION
BM	BEAM	FP	FIREPROOF	MIN	MINIMUM	SQ	SQUARE
BRG	BEARING	FPL	FIREPLACE	MISC	MISCELLANEOUS	SF	SQUARE FEET
BFF	BELOW FINISHED FLOOR	FIXT	FIXTURE	NEC	NATIONAL ELECTRIC CODE	SS	STAINLESS STEEL
BET	BETWEEN	FLR	FLOOR	NOM	NOMINAL	STD	STANDARD
BLK	BLACK	FLG	FLOORING	NIC	NOT IN CONTRACT	STL	STEEL
BSMT	BASMENT	FD	FLOOR DRAIN	N/A	NOT APPLICABLE	STRUCT	STRUCTURAL
BTU	BRITISH THERMAL UNIT(S)	FT	FOOT FEET	TS	NOT TO SCALE	SUB	SUBSTITUTE
BD	BOARD	FTG	FOOTING	OC	ON CENTER	SUPPL	SUPPLEMENT
BS	BOTH SIDES	FDN	FOUNDATION	OPG	OPENING	S4S	SURFACED FOUR SIDES
BO, B/	BOTTOM OF	FURN	FURNISH	ORN	ORNAMENTAL	SUSP	SUSPEND(ED)
BLDG	BUILDING	GAL	GALLON	OPH	OPPOSITE HAND	TEL	TELEPHONE
CAB	CABINET	GA	GAUGE	OD	OUTSIDE DIAMETER	TV	TELEVISION
CLG	CENTER LINE	GALV	GALVANIZED	PBR	PB&ST BLUE RIBBON	TEMPER	TEMPERED
CLG	CEILING	GC	GENERAL CONTRACTOR	PTN	PARTITION	THK	THICK
CER	CERAMIC	GL	GLASS, GLAZED	d	PENNY (NAILS, ETC)	TLT	TOILET
CLO	CLOSET	GLB	GLU-LAM BEAM	PERF	PERFORATE(D)	T&G	TONGUE & GROOVE
CLD	CLOTHES DRYER	GR	GRADE	PERP	PERPENDICULAR	T&B	TOP & BOTTOM
CLW	CLOTHES WASHER	GYP	GYPSUM	PLAST	PLASTER	TO, T/	TOP OF
COL	COLUMN	GWB	GYPSUM WALLBOARD	PLAS	PLASTIC	TR	TREAD
CONC	CONCRETE	HDW	HARDWARE	PLT	PLATE	TR	TYPICAL
CJ	CONSTRUCTION JOINT	HD	HEAD	PLX	PLEXIGLASS	UG	UNDERGROUND
CONT	CONTINUOUS	HVAC	HEATING, VENTING, AND AIR	PLMB	PLUMBING	UNGL	UNGLAZED
COORD	COORDINATE		CONDITIONING	PLYWD	PLYWOOD	UNFIN	UNFINISHED
CPT	CARPET	HORIZ	HORIZONTAL	PROJ	PROJECT	UNO	UNLESS NOTED OTHERWISE
CTR	COUNTER	HP	HORSEPOWER	PROP	PROPERTY	VIF	VERIFY IN FIELD
C/S	COUNTER SINK	HSE	HOSE BIBB	HB	QUARRY TILE	VERT	VERTICAL
CF	CUBIC FEET	HW	HOT WATER HEATER	QTY	QUANTITY	VCT	VINYL COMPOSITION TILE
DP	DAMP PROOFING	HT	HEIGHT	R	RADIUS	V	VOLT
DEPT	DEPARTMENT	IBC	INTERNATIONAL BUILDING	RD	ROOF DRAIN	WH	WATER HEATER
DTL	DETAIL		CODE	RM	ROOM	WC	WATER CLOSET
DIA, O /	DIAMETER	INCL	INCLUDE(D) (ING)	RS	ROUGH SAWN	WP	WATERPROOF
DM	DIMENSION	INFO	INFORMATION	REC	RECESSED	WT	WEIGHT
DW	DISHWASHER	INSP	INSPECTOR, INSPECTION	RCB	RESILIENT COVE BASE	WWF	WELDED WIRE FABRIC
DN	DOWN	ID	INSIDE DIAMETER	RW	RETAINING WALL	WF	WIDE FLANGE
DR	DRAIN	INSUL	INSULATION	REFR	REFER OR REFERENCE	WDW	WINDOW
DWG	DRAWING	INT	INTERIOR	REF	REFRIGERATOR	W/	WITH
EA	EACH	IRC	INTERNATIONAL RESIDENTIAL	REINF	REINFORCE(D)	W/O	WITHOUT
EW	EACH WAY		CODE	REBAR	REINFORCING BAR(S)	WGD	WOOD
ELECT	ELECTRICAL	JT	JOINT	RESIL	RESILIENT	WKG	WORKING
EC	ELECTRICAL CONTRACTOR	JST	JOIST	REQD	REQUIRED		
		JCT	JUNCTION	R	RISER		
		KWH	KILOWATT HOUR	RO	ROUGH OPENING		

ARCHITECTURAL SYMBOLS

	NEW 87.5 (EXIST 67.1)	SPOT ELEVATION		SETBACK LINE		ROOM NUMBER	ROOM NAME
	TB3	TEST BORING		PROPERTY LINE		WINDOW TYPE	
	T / PLYWD EL = 120'-8"	TOP OF ELEVATION		BREAK LINE		DOOR TYPE	
	NEW CONTOUR			DETAIL NUMBER		INTERIOR ELEVATION(S)	SHEET NUMBER
	EXISTING CONTOUR			BUILDING OR WALL SECTION		REVISIONS	
	OLD CONTOUR			HIDDEN LINE (ABOVE) (8')			
	CENTERLINE			HIDDEN LINE (BELOW) (4')			

PLAN AND SECTION MATERIAL SYMBOLS

EARTH		MASONRY		WOOD		INSULATION	
	COMPACTED FILL		CONCRETE BLOCK		FINISH		FOAM
	POROUS FILL		BRICK		ROUGH/DIMENSION LUMBER		BATT
	UNDISTURBED FILL		STONE		BLOCKING		RIGID
	ROCK		GLASS BLOCK	 OR 	GLU-LAM	CONCRETE	
METAL					PLYWOOD		CAST
	STEEL						LIGHTWEIGHT CONCRETE

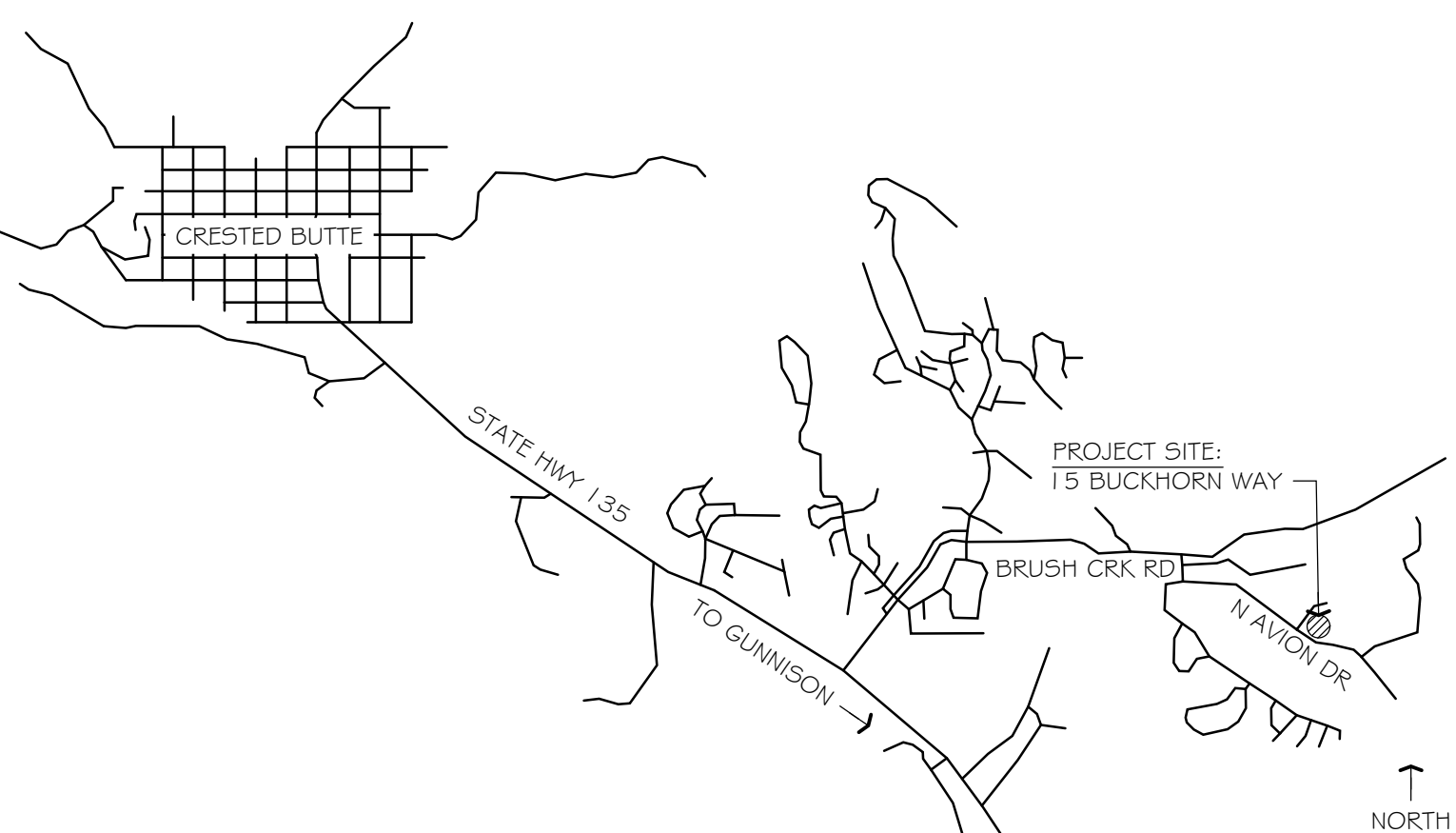
GENERAL NOTES

1. THE CONTRACTOR'S RESPONSIBILITIES
1. THE CONTRACTOR SHALL VERIFY THAT THE BUILDING CODE REQUIREMENTS, AS ADOPTED BY THE LOCAL MUNICIPALITY, HAVE BEEN MET. ALL WORK CONTAINED WITHIN THESE DOCUMENTS SHALL CONFORM TO ALL CODES, REGULATIONS, ORDINANCES, LAWS, PERMITS, & CONTRACT DOCUMENTS WHICH APPLY.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, LICENSES, AND APPROVALS ASSOCIATED WITH THIS PROJECT.
3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EQUIPMENT SIZES AND LOCATIONS WITH MECHANICAL, PLUMBING, ELECTRICAL, AND UTILITY COMPANIES.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF FIRE MITIGATION REQUIREMENTS WITH THE MUNICIPALITY AND FOREST SERVICE.
5. THE CONTRACTOR MUST VERIFY THE BUILDING LAYOUT WITH THE OWNER AND/OR ARCHITECT PRIOR TO DIGGING THE FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE.
6. THE CONTRACTOR MUST VERIFY THAT ALL DOORS, WALLS, & CEILINGS BETWEEN GARAGE AND LIVING SPACES CONFORM TO ALL FIRE AND SAFETY CODES AND REGULATIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL FINISH GRADES ON SITE.
8. THE CONTRACTOR MUST VERIFY THAT FIREPLACE AND/OR WOOD STOVE INSTALLATION COMPLIES WITH ALL LOCAL, STATE, AND NATIONAL FIRE AND BUILDING REGULATIONS.
9. CONTRACTOR SHALL SUBMIT A LIST OF SUBCONTRACTORS TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
10. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. THE CONTRACTOR AND HIGHER SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLETING ALL THE WORK WITHIN THESE DOCUMENTS, UNLESS NOTED OTHERWISE.
12. CONTRACTOR TO PROVIDE SMOKE DETECTORS & CARBON MONOXIDE DETECTORS IN ACCORDANCE WITH LOCAL APPLICABLE CODES.
13. CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, AC EQUIPMENT, RECESSED ITEMS, AND ALL OTHER ITEMS AS REQUIRED.
14. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
15. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION IF NOT NOTED ON PLANS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE DRAWINGS AND OBTAINING THE PERMITS FOR THE FIRE SPRINKLER SYSTEM. SYSTEM SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES AND ORDINANCES, IF FIRE PROTECTION IS REQUIRED. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE ARCHITECT.
17. THAT PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT AND ENGINEER. ALL SUCH PORTIONS OF THE WORK SHALL BE INSTALLED IN ACCORDANCE WITH REVIEWED SHOP DRAWINGS AND SAMPLES.
18. THE CONTRACTOR SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THESE DOCUMENTS AND THE PROPERTY OWNERS ASSOCIATION, IF APPLICABLE.
19. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION. FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS/HER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS/HER OPERATION.
20. THE GENERAL CONTRACTOR AND OWNER ARE RESPONSIBLE FOR RADON TESTING IN THE FIELD & MUST INSTALL ALL NECESSARY EQUIPMENT TO PREVENT RADON BUILD-UP WITHIN THE STRUCTURE.
21. MOISTURE IS THE PREVALENT CAUSE OF MOLD GROWTH. GENERAL CONTRACTORS & SUBCONTRACTORS ARE TO BE PROMOTED IN THE MITIGATION OF MOISTURE DURING CONSTRUCTION. TIGHT BUILDING CONSTRUCTION IS ONE OF THE IMPLICATED CAUSES OF MOLD. ALL ROOFS, CRAWL SPACES, & OTHER UNCONDITIONED SPACES ARE TO BE VENTILATED ADEQUATELY. IF EXCESSIVE MOISTURE IS NOTICED DURING CONSTRUCTION, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY. ANY MODIFICATION TO THE PLANS REGARDING MOISTURE CONTROL DURING CONSTRUCTION SHALL BE REVIEWED BY THE ARCHITECT.
- B. CHANGES TO THE DESIGN
1. CHANGES OR SUBSTITUTIONS TO THE DESIGN OR TO PRODUCTS WHICH WERE SPECIFIED IN THESE DOCUMENTS WILL ONLY BE ALLOWED WITH WRITTEN APPROVAL FROM THE OWNER AND/OR ARCHITECT, AND FROM THE ARCHITECTURAL REVIEW BOARD, IF APPLICABLE.
- C. STRUCTURAL CHANGES
1. ANY CHANGES IN THE FIELD TO THE STRUCTURAL PLANS SHALL RELIEVE THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY CONSEQUENCES WHICH MAY ARISE. ANY PROPOSED CHANGES TO THE STRUCTURAL DOCUMENTS MUST BE APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER IN WRITING.

SITE NOTES

1. A TOPOGRAPHIC SURVEY OF THIS SITE HAS BEEN OBTAINED FROM ALL COUNTY SURVEY, DATED 16 NOV 2012.
2. A GEOTECHNICAL INVESTIGATION OF THIS SITE HAS NOT BEEN PROVIDED BY THE OWNER.
3. THE CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO ANY EXCAVATION.
4. ANY EXISTING LANDSCAPING OUTSIDE OF THE LIMIT OF DISTURBANCE, AND ANY TREES DESIGNATED TO REMAIN, ARE TO BE FLAGGED AND PROTECTED DURING ALL CONSTRUCTION.
5. FINISH GRADE IS TO PROVIDE DRAINAGE AWAY FROM THE FOUNDATION VIA SWALES, DRAINS, ETC. AT ALL LOCATIONS.
7. PROTECT ALL TOPSOIL WHEN EXCAVATING AND REAPPLY TO ALL DISTURBED SOIL AREAS AFTER CONSTRUCTION IS COMPLETE.

LOCATION MAP



LEGAL DESCRIPTION

15 BUCKHORN WAY
LOT 36 BUCKHORN RANCH . FILING 2A (SKYLAND AREA)
GUNNISON COUNTY . COLORADO

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BUILDING AREA CALCULATIONS

BUILDING AREA	EXISTING (SF)	PROPOSED (SF)	TOTAL (SF)
EXISTING (FINISHED)	4,399		4,399
EXISTING (GARAGE)	838		838
EXISTING (TOTAL)			5,237
PROPOSED KITCHEN ADDITION (FINISHED)		126	126
PROPOSED EXISTING RESIDENCE (TOTAL)			5,363
PROPOSED DETACHED GARAGE (UNFINISHED)		816	816
PROPOSED STORAGE ATTIC (UNFIN; +7' HEADROOM)		210	210
PROPOSED DETACHED GARAGE (TOTAL)			1,026
GRAND TOTAL	5,237	1,152	6,389

SITE CALCULATIONS

EXISTING TOTAL SITE AREA:	52,698	5F (1.210 ACRES)
EXISTING BUILDING FOOTPRINT W/ DECKS + ROOF OVERHANGS:	5,676	(11% OF TOTAL SITE AREA)
EXISTING PAVING, WALKWAY, + DECK AREAS:	4,397	(8% OF TOTAL SITE AREA)
EXISTING REMAINING OPEN SPACE:	42,625	(81% OF TOTAL SITE AREA)
PROPOSED BUILDING FOOTPRINT(S) W/ DECKS + ROOF OVERHANGS:	6,807	(13% OF TOTAL SITE AREA)
PROPOSED PAVING, WALKWAY, + DECK AREAS:	5,006	(9% OF TOTAL SITE AREA)
PROPOSED REMAINING OPEN SPACE:	40,885	(78% OF TOTAL SITE AREA)

PROJECT DIRECTORY

<p>OWNER</p> <p>SCARPA E MICHAEL REVOCABLE TRUST (MICHAEL & ANNE SCARPA) PO BOX 3870 CRESTED BUTTE , COLORADO , 81224</p>	<p>GENERAL CONTRACTOR</p> <p>TBD</p>
<p>ARCHITECT</p> <p>ALLEN-GUERRA ARCHITECTURE 201 D ELK AVENUE PO BOX 1333 CRESTED BUTTE , COLORADO , 81224 T: 970.251.5422</p>	<p>SURVEYOR</p> <p>TBD</p>
<p>STRUCTURAL ENGINEER</p> <p>KRAMER AND BROWN CONSULTING STRUCTURAL ENGINEERS , LLC 60 GILLASPEY AVENUE - UNIT 2 CRESTED BUTTE , COLORADO , 81224 T: 406.396.2295</p>	<p>GEOTECHNICAL ENGINEER</p> <p>TBD</p>



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SCARPA RESIDENCE A&A
15 BUCKHORN WAY . LOT 36 BUCKHORN RANCH . FILING 2A (SKYLAND AREA)
GUNNISON COUNTY . COLORADO

TITLE: INFORMATION SHEET ONE

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INFO1



SCARPA RESIDENCE A&A
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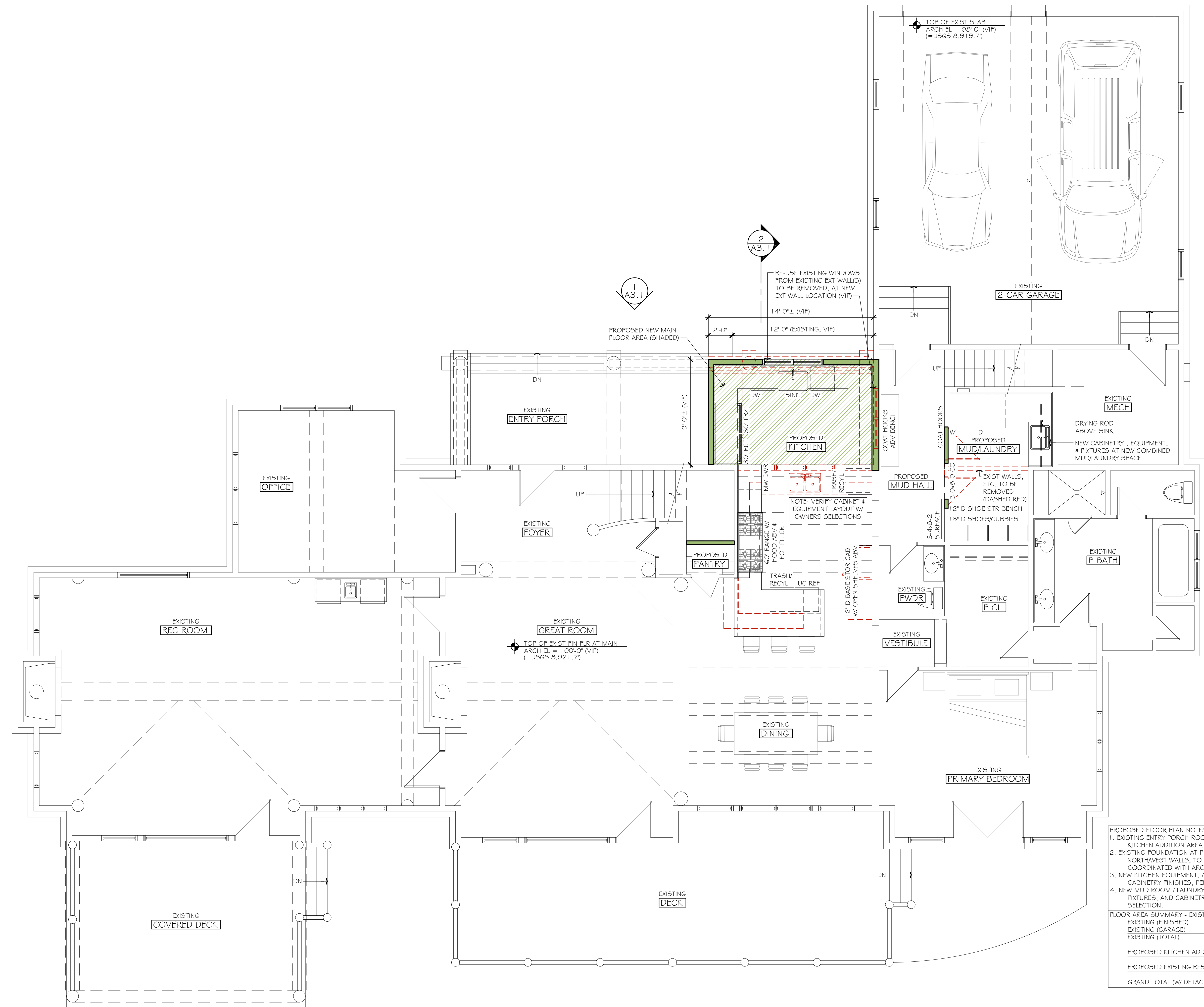
SCARPA RESIDENCE A&A
15 BUCKHORN WAY . LOT 36 BUCKHORN RANCH . FILING 2A (SKYLAND AREA)
GUNNISON COUNTY . COLORADO

EXISTING RESIDENCE - PROPOSED MAIN FLOOR PLAN
(KITCHEN ADDITION)

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A2.1

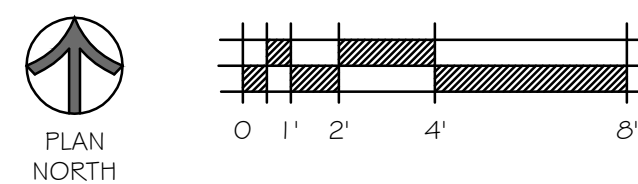


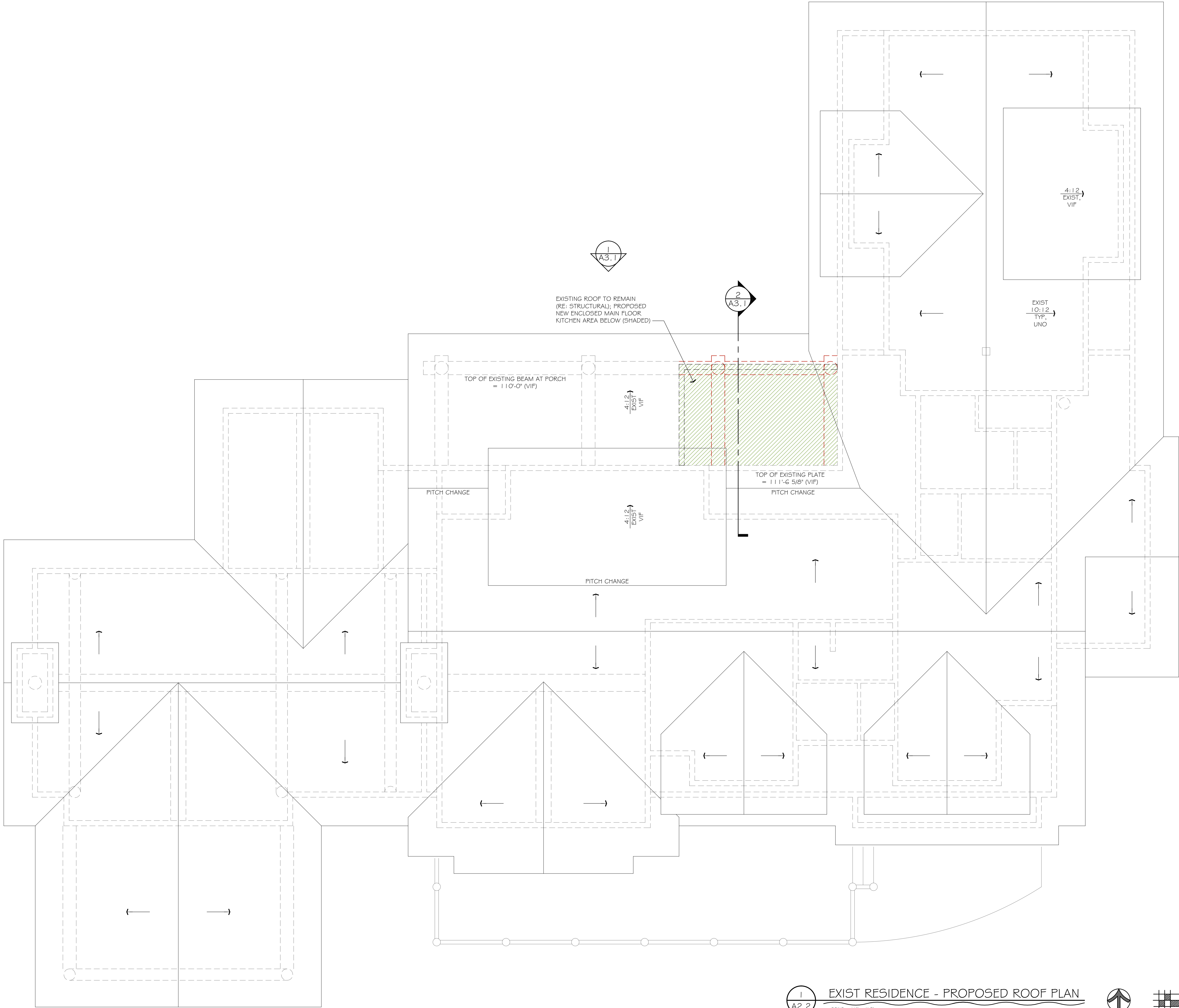
PROPOSED FLOOR PLAN NOTES:		
1. EXISTING ENTRY PORCH ROOF STRUCTURE AT PROPOSED KITCHEN ADDITION AREA TO REMAIN (V/P).		
2. EXISTING FOUNDATION AT PROPOSED NEW KITCHEN AREA NORTHWEST WALLS, TO BE VERIFIED IN FIELD BY GC, AND COORDINATED WITH ARCHITECT/STRUCTURAL ENGINEER.		
3. NEW KITCHEN EQUIPMENT, APPLIANCES, FIXTURES AND CABINETS FINISHES, PER OWNERS SELECTION.		
4. NEW MUD ROOM / LAUNDRY EQUIPMENT, APPLIANCES, FIXTURES, AND CABINETS FINISHES, PER OWNERS SELECTION.		
FLOOR AREA SUMMARY - EXISTING RESIDENCE:		
EXISTING (FINISHED)	4,399	SF
EXISTING (GARAGE)	838	
EXISTING (TOTAL)	5,237	
PROPOSED KITCHEN ADDITION		
	126	
PROPOSED EXISTING RESIDENCE TOTAL		
	5,363	SF
GRAND TOTAL (W/ DETACHED GARAGE)		
	6,389	SF

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A2.1

EXIST RESIDENCE - PROP MAIN FLOOR PLAN

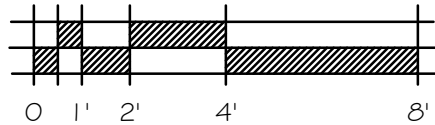
SCALE: 1/4" = 1'-0"





EXIST RESIDENCE - PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



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TITLE
EXISTING RESIDENCE - PROPOSED ROOF PLAN
(KITCHEN ADDITION)

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ISSUE:	DATE:
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A2.2



SCARPA RESIDENCE A&A
15 BUCKHORN WAY . LOT 36 BUCKHORN RANCH . FILING 2A (S&K LAND AREA)
GUNNISON COUNTY . COLORADO

PROPOSED DETACHED GARAGE - FLOOR & ROOF PLANS

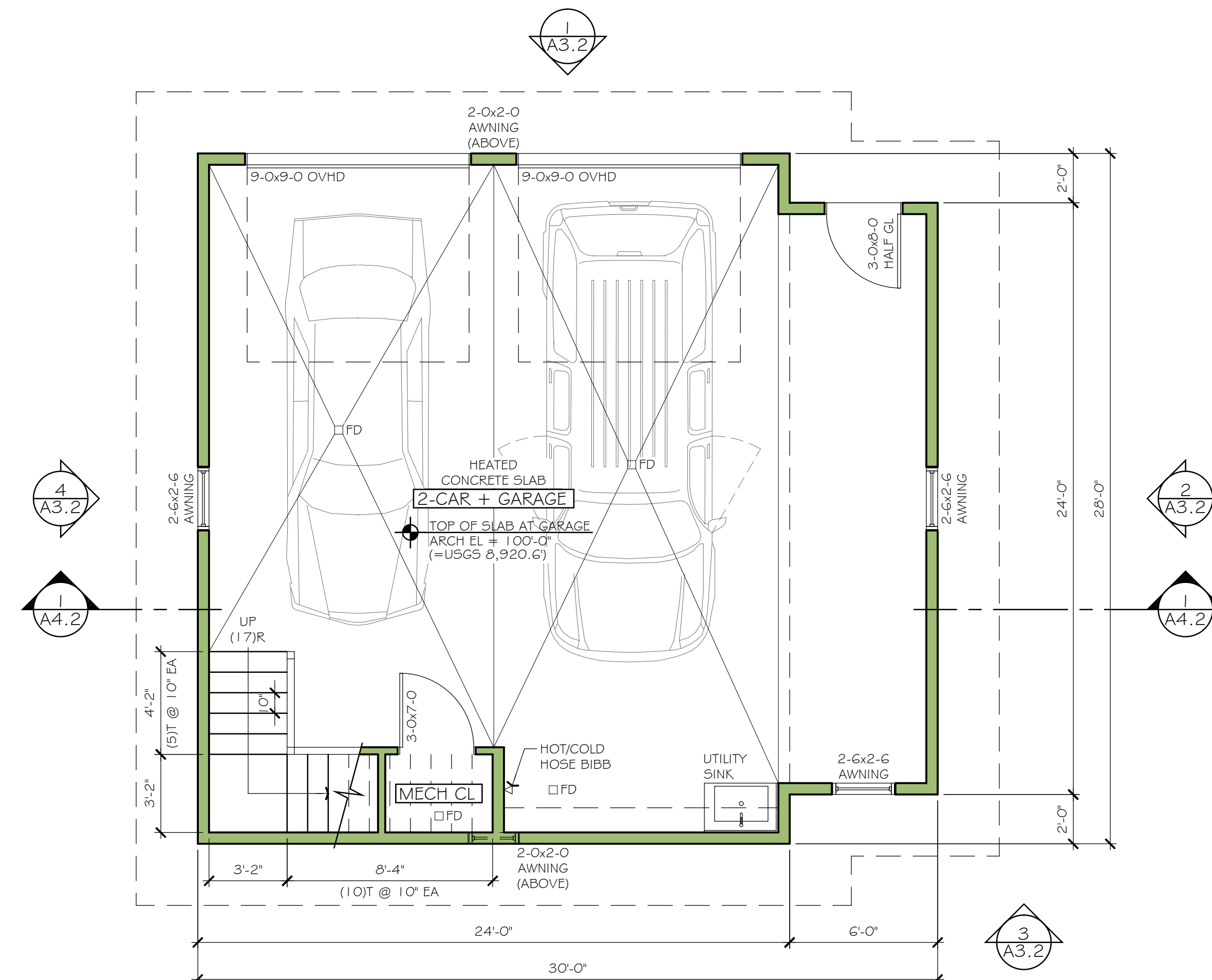
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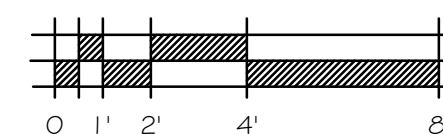
2 DETACHED GARAGE - ROOF PLAN

SCALE: $1/4" = 1'-0"$



DETACHED GARAGE - FLOOR PLAN

SCALE: 1/4" = 1'-0"



FLOOR AREA SUMMARY - DETACHED GARAGE:		
PROPOSED DETACHED GARAGE	816	SF
PROPOSED STORAGE ATTIC (+7' HDRM)	210	
PROPOSED GARAGE TOTAL	1,026	SF
GRAND TOTAL (w/ EXIST RESIDENCE)	6,389	SF



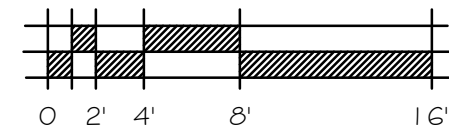
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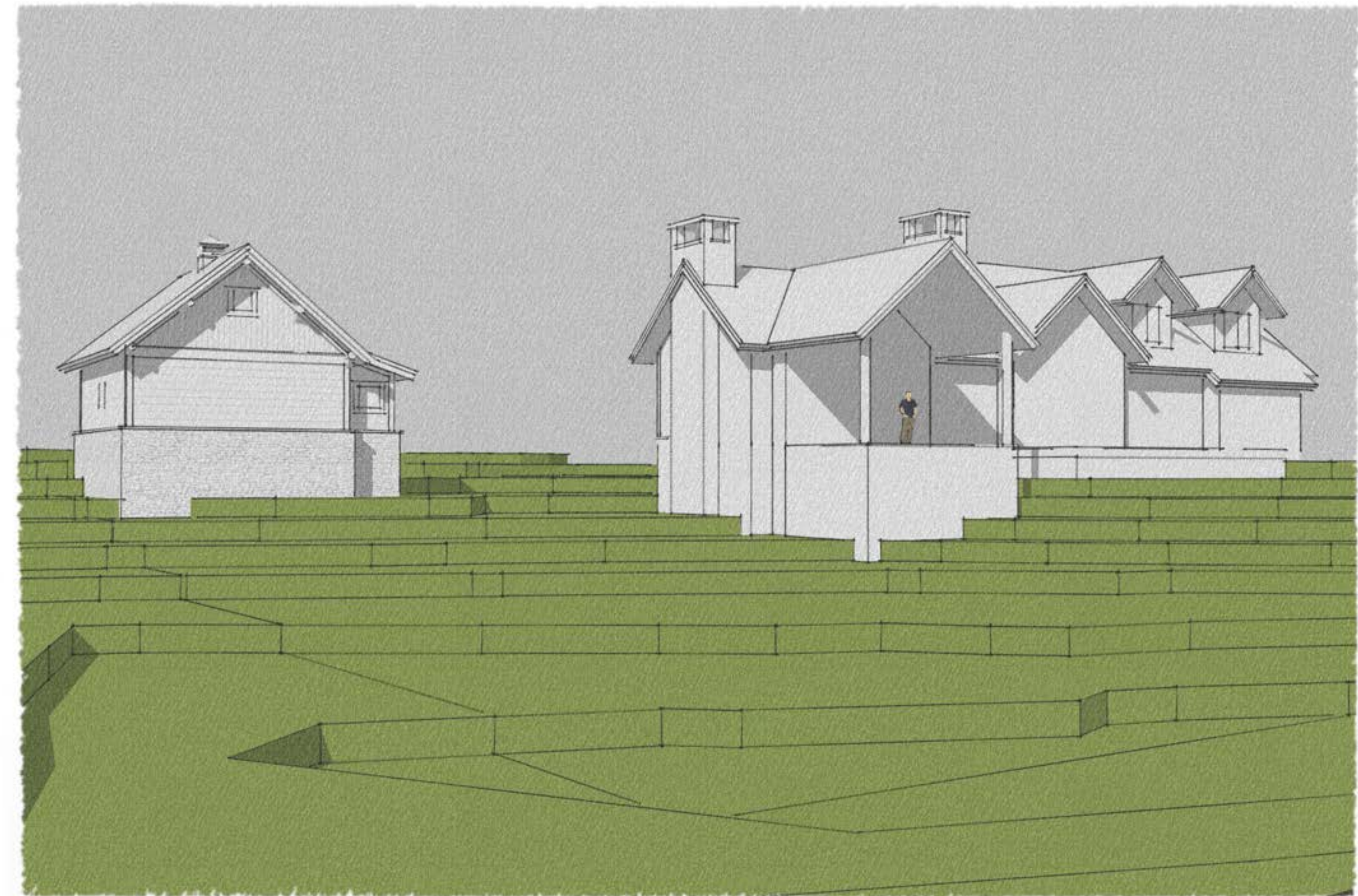
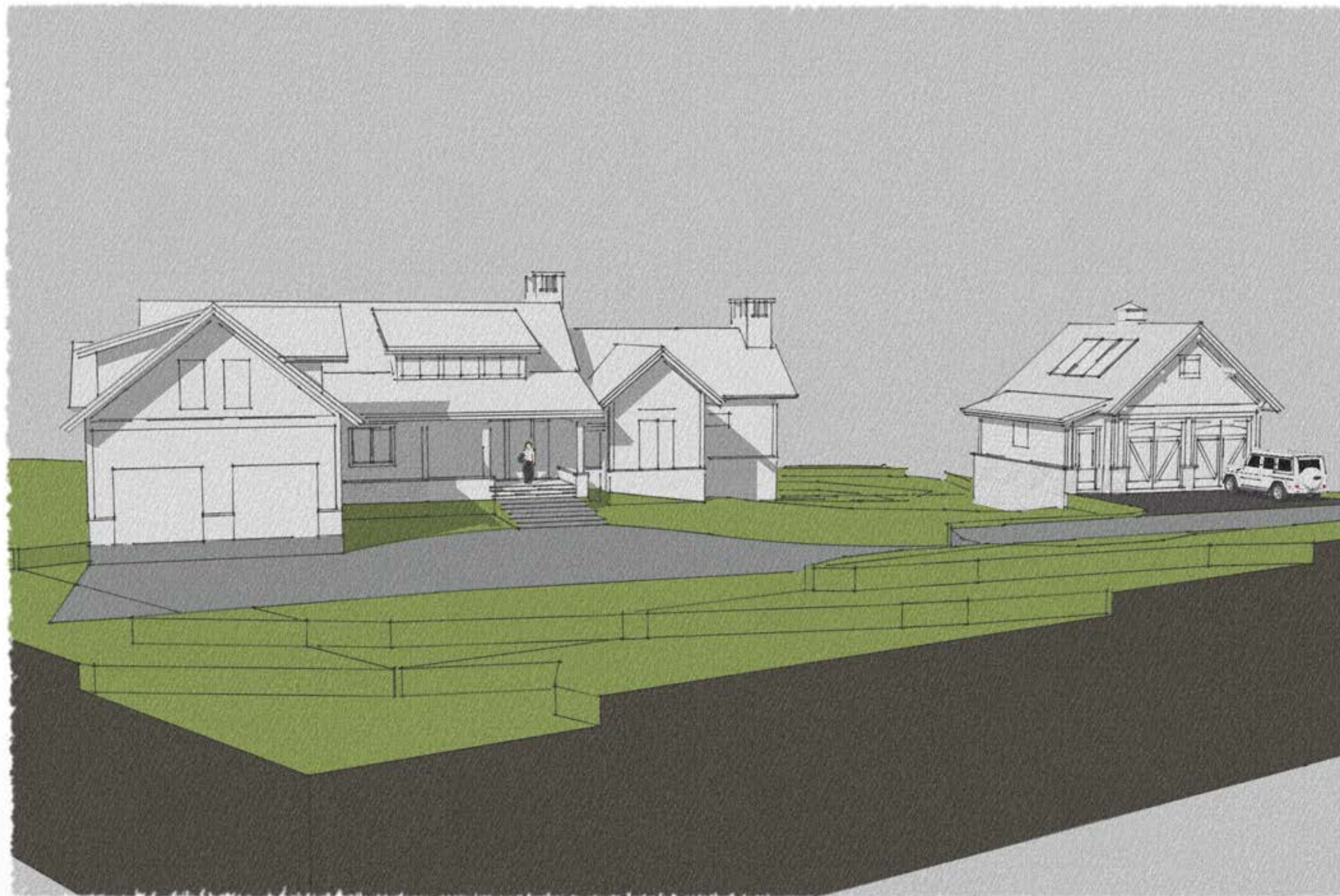
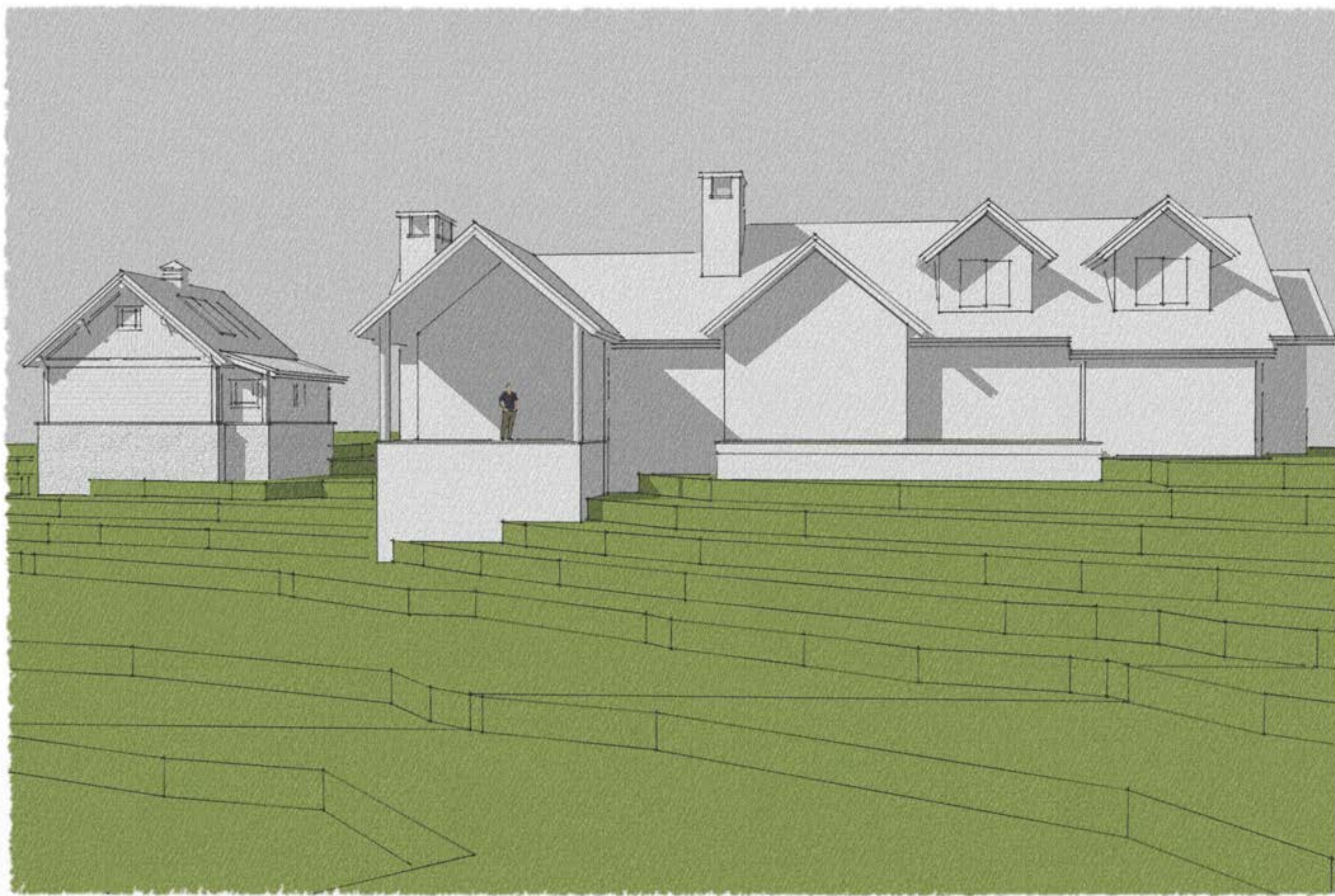
EXISTING RESIDENCE - PROPOSED EXTERIOR ELEVATIONS
& BUILDING SECTION (KITCHEN ADDITION)

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A3.1





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SCARPA RESIDENCE A&A
15 BUCK HORN WAY LOT 24 BUCK HORN RANCH

15 BUCKHORN WAY . LOT 36 BUCKHORN RANCH . FILING 2A (SKYLAND AREA)
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PROPOSED 3D PERSPECTIVE VIEWS

OF FINANCIAL AND OTHER INFORMATION. WHERE APPROPRIATE, FINANCIAL INFORMATION WILL BE PRESENTED IN A SUMMARY FORM.

[illegible]

A3.3



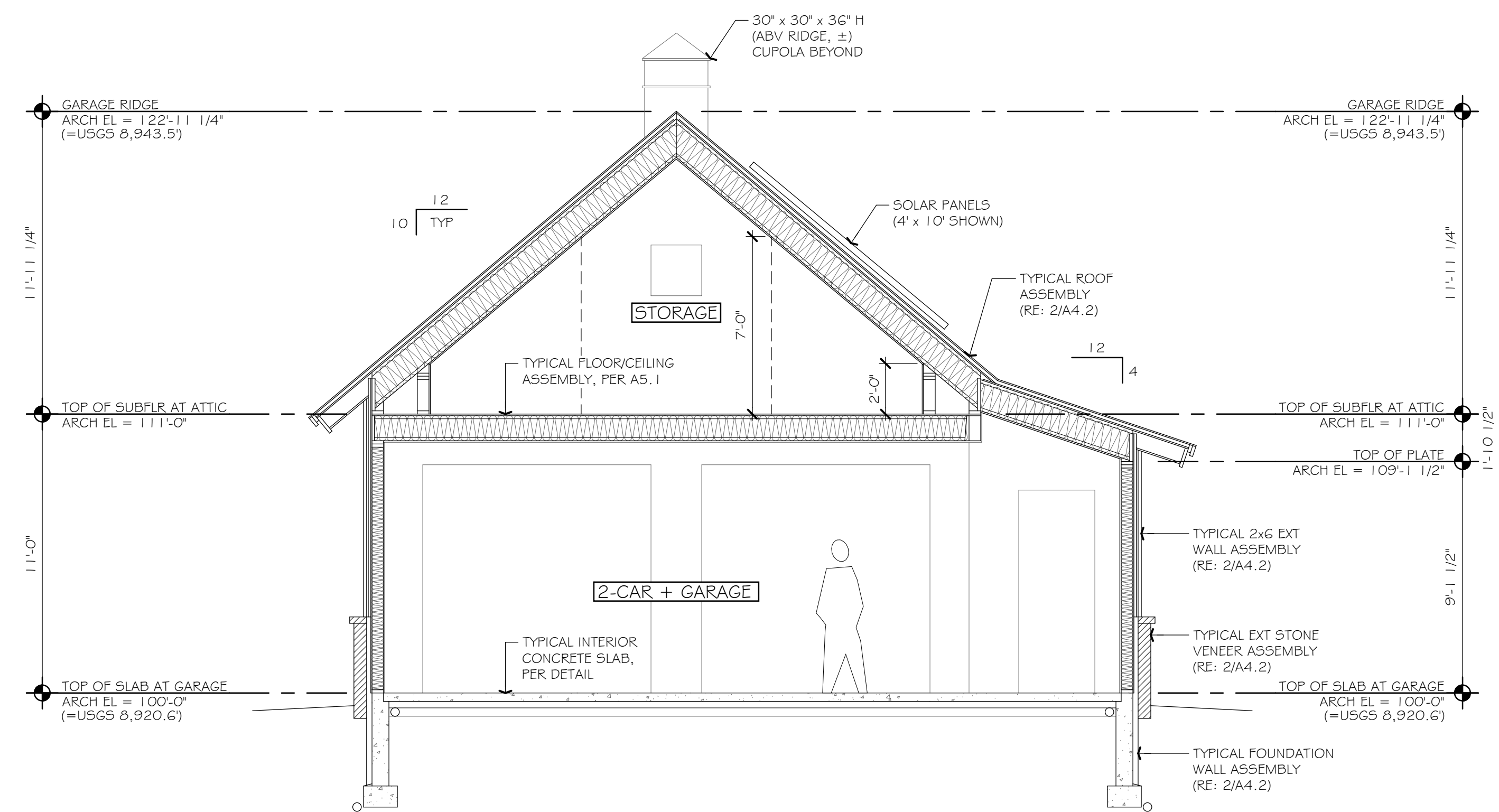
SCARPA RESIDENCE A&A
15 BUCKHORN WAY . LOT 36 BUCKHORN RANCH . FILING 2A (SKYLAND AREA)
GUNNISON COUNTY . COLORADO

PROPOSED DETACHED GARAGE - BUILDING SECTION & TYPICAL EXTERIOR ASSEMBLIES

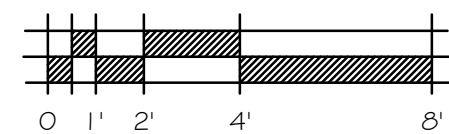
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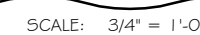
A4.2



DETACHED GARAGE - BUILDING SECTION



TYPICAL EXTERIOR ASSEMBLIES





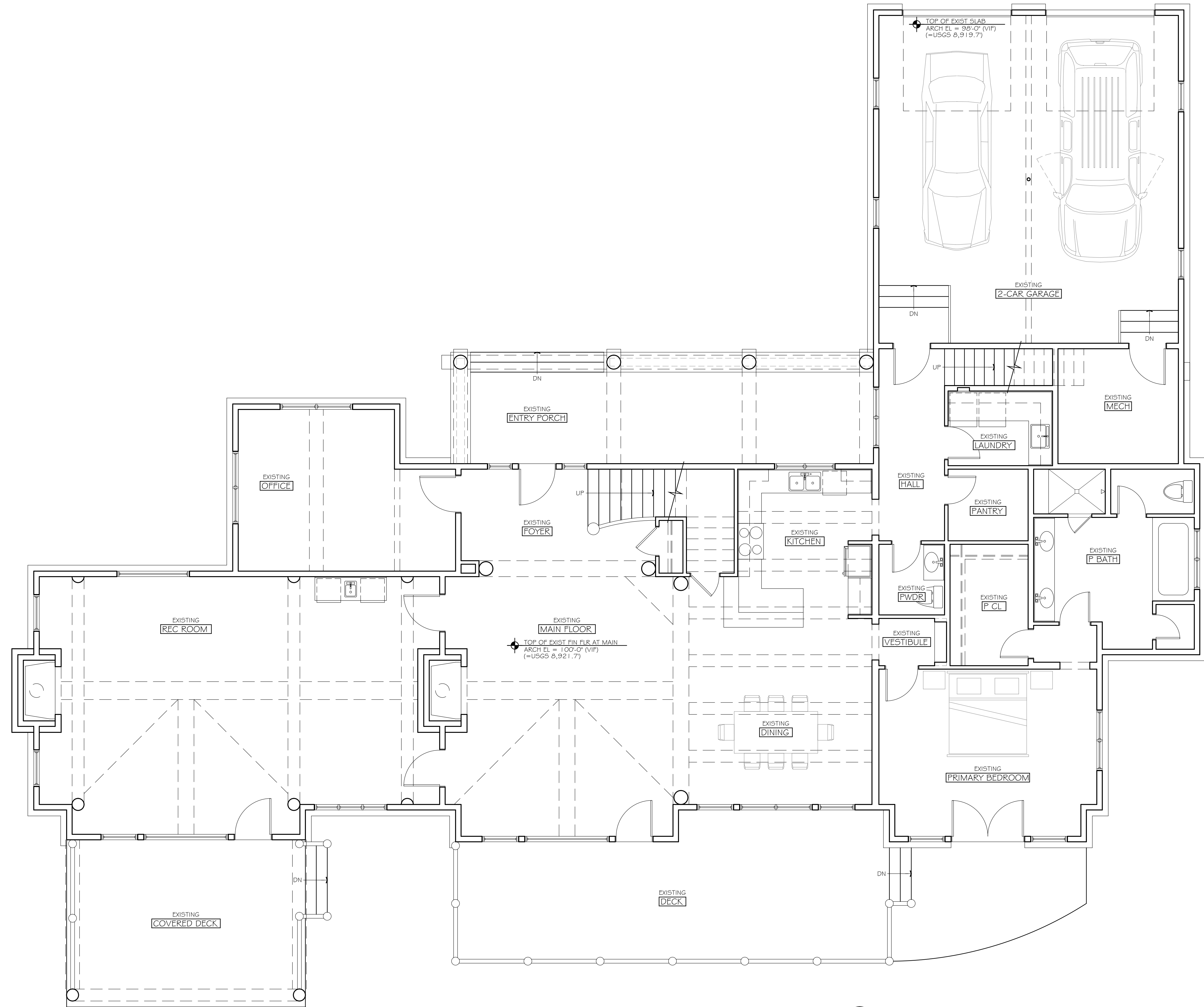
SCARPA RESIDENCE A&A
15 BUCKHORN WAY . LOT 36 BUCKHORN RANCH . FILING 2A (SKYLAND AREA)
GUNNISON COUNTY . COLORADO

EXISTING RESIDENCE - EXISTING MAIN FLOOR PLAN

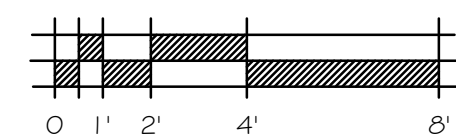
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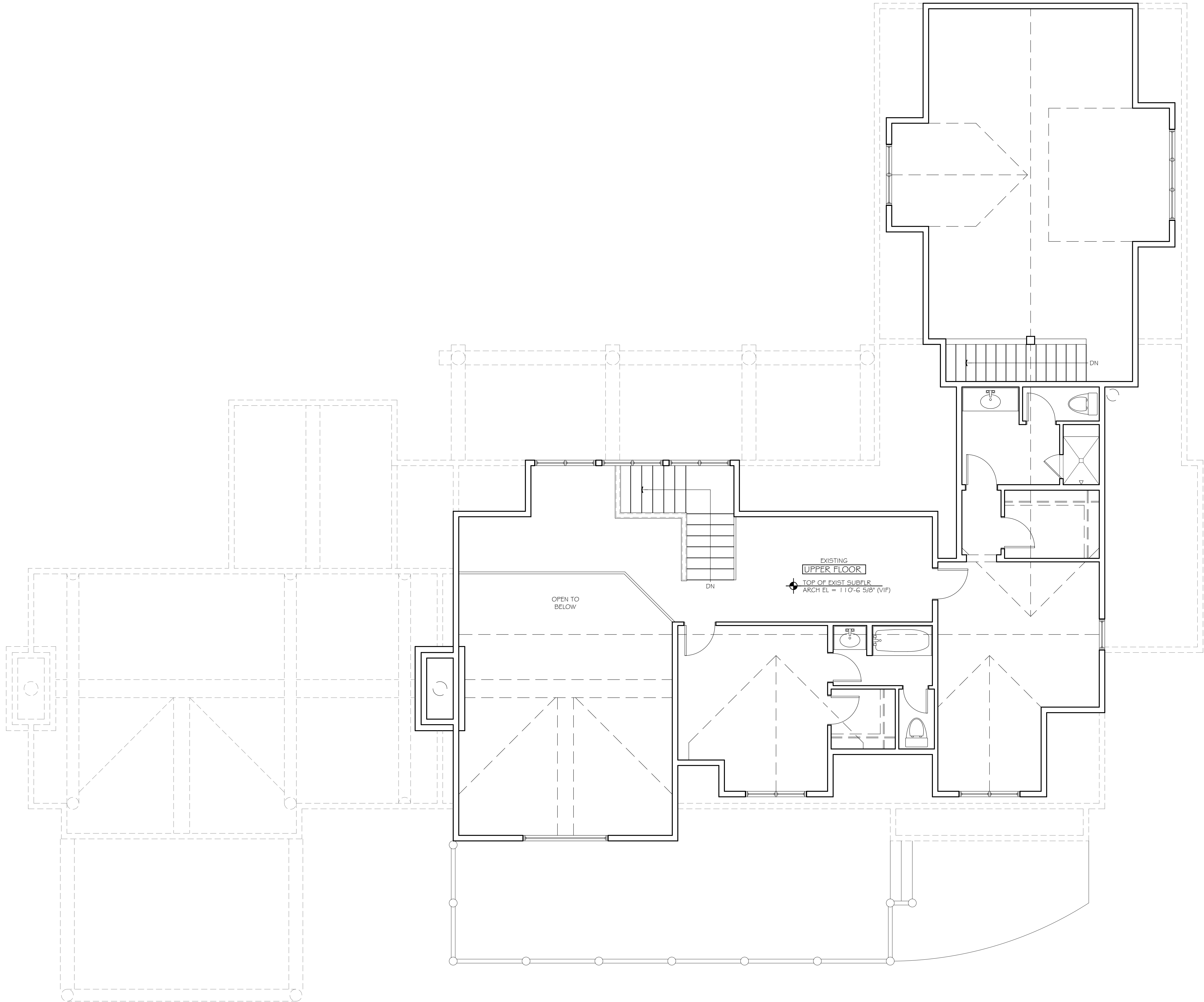
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X2.1



EXISTING MAIN FLOOR PLAN

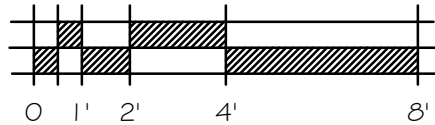




1
X2.2

EXISTING UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"



PRELIMINARY - NOT FOR CONSTRUCTION

SCARPA RESIDENCE A&A

15 BUCKHORN WAY, LOT 36 BUCKHORN RANCH, FILING 2A (SKYLAND AREA)

GUNNISON COUNTY, COLORADO

TITLE EXISTING RESIDENCE - EXISTING UPPER FLOOR PLAN

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ISSUE:	DATE:
HOA DRC	16 JUN 2022
PROJECT #:	2201

X2.2



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